

DECLARATION OF OWNER/ CA :-

- I/WE DO HERE BY UNDERTAKE WITH FULL RESPONSIBILITY THAT :- I/WE SHALL ENGAGE L.B.S. & E.S.E. DURING CONSTRUCTION.
I/WE SHALL FOLLOW THE INSTRUCTION OF L.B.S. & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER APPROVED PLAN)
K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE.
IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE THE K.M.C AUTHORITY WILL REVOKE THE SANCTIONED PLAN.
THE CONSTRUCTION OF WATER RESERVOIR & SEPTIC TANK WILL BE UNDER THE GUIDANCE OF L.B.S / E.S.E BEFORE STARTING OF BUILDING FOUNDATION WORK.
EXISTING STRUCTURE RECORDED IN THE ASSESSMENT BOOK COPY PROVISION IS FULLY OCCUPIED BY THE OWNERS.

CERTIFICATE OF L.B.S. :-

CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN AS PER PROVISION OF K.M.C. BUILDING RULES '2009 (AS AMENDED FROM TIME TO TIME) AND K.M.C ACT 1980 U/S. 393A & SITE CONDITIONS WITH THE WIDTH OF 5.130 M. WIDE ROAD NORTH SIDE CONFORM TO THE PLAN AND IT IS A BUILTABLE SITE NOT A TANK OR FILLED UP TANK AND TALLY'S MORE OR LESS WITH REGISTERED BOUNDARY DECLARATION DEMARCATED BY BOUNDARY WALL. EXISTING STRUCTURE TO BE DEMOLISHED BEFORE STARTING OF NEW CONSTRUCTION & THE PROVISION IS FULLY OCCUPIED BY THE OWNERS & TENENT.

CERTIFICATE OF E.S.E. :-

CERTIFIED WITH FULL RESPONSIBILITY THAT THE STRUCTURAL DESIGN OF BOTH FOUNDATION & SUPER STRUCTURE OF THE BUILDING TO BE MADE CONSIDERING ALL POSSIBLE LOADS INCLUDING SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT, O.H.W.T & STAIR HEAD ROOM ALONG WITH LIFT MACHINE ROOM TO BE CONSIDER. DURING THE LOAD CALCULATION WHICH DESIGN CALCULATION TO BE SUBMIT IN DUE COURSE ALONG WITH STRUCTURAL DRAWING AFTER DEMOLITION OF EXISTING III/D.H AND THERE- AFTER GEOTECHNICAL INVESTIGATION FIELD WORK REPORT.

CERTIFICATE OF G.T.E. :-

CERTIFIED WITH FULL RESPONSIBILITY THAT THE GEOTECHNICAL INVESTIGATION SURVEY REPORT HAS PREPARED BY M/S.TECHNO SOIL OF F-25, C.I.T MARKET, JADAVPUR, KOLKATA - 700 032 WHICH HAS BEEN CHECKED AS PER FIELD DATA & LABORATORY TEST & DULY SIGNED BY ME.

PROPOSED G+III STORIED RESIDENTIAL BUILDING AT PREMISES NO.114N, RAJA SUBODH CHANDRA MULLICK ROAD, IN WARD NO.100 OF BOROUGH - X, P.S - NETAJI NAGAR, KOLKATA - 700 047 (U/S 393A OF THE K.M.C. ACT 1980 & K.M.C. BUILDING RULES 2009) AND NOTIFICATION NO. 480/MA/O/C-4 /3R-13/2012, DT. 21/10/2014 IN RULE 105 UNDER THE KOLKATA MUNICIPAL CORPORATION (BUILDING HEIGHT- 12.500 M.

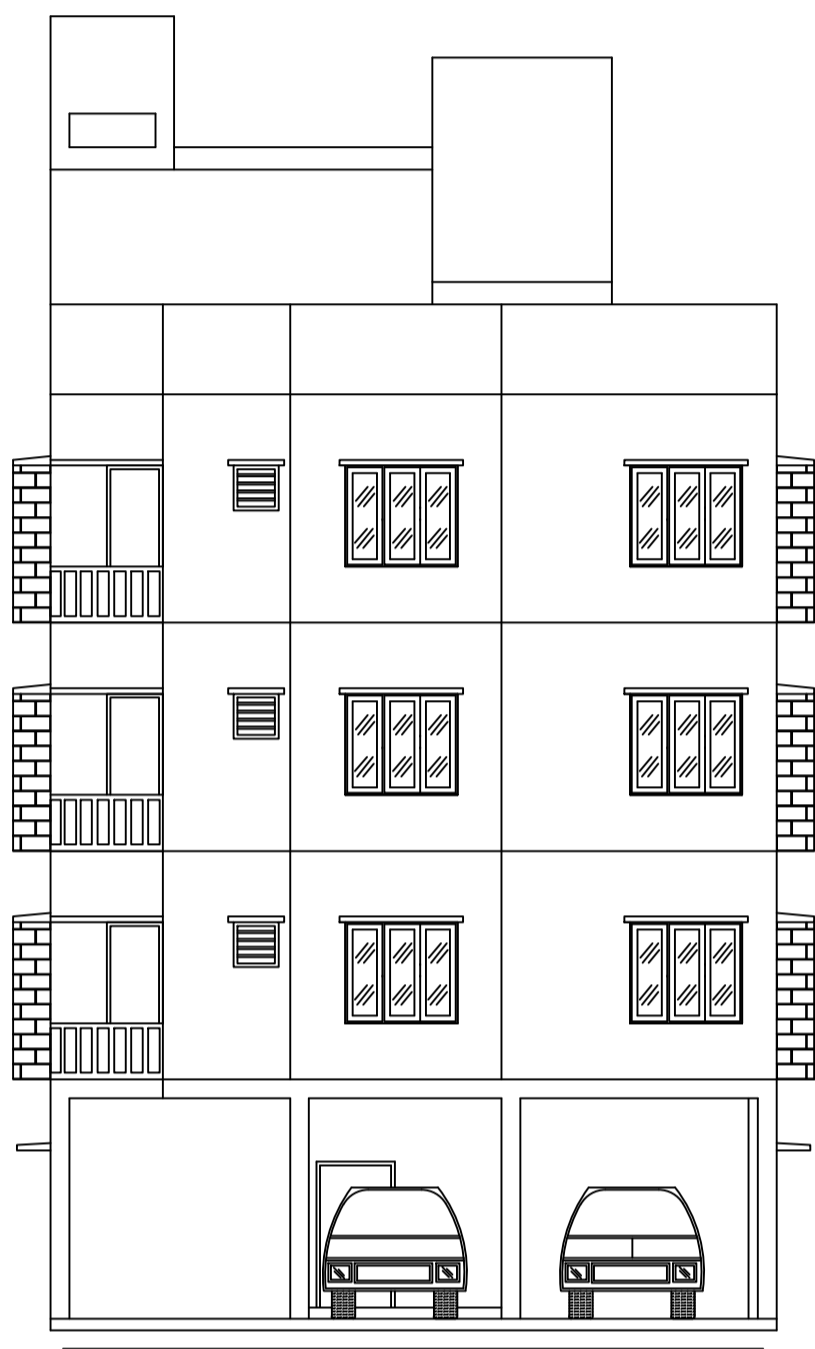
APPLICANT/S

M/S. RAMTHAKUR ENTERPRISE PROPRIETOR OF SRI SANJOY KUMAR GUHA ROY & CONSTITUTED ATTORNEY OF 1. SMT. SAMATA GHOSH, 2. SMT. INDRA GHOSH 3. SRI. SHAYANTAN GHOSH, 4. SRI. SUMANTAN GHOSH 5. SMT. PAPIA GHOSH, 6. SRI. AMITAVA GHOSH 7. SMT. SUCHARITA GUHA ROY 8. SMT. DEBOPRIYA VINAY KUMAR PATEL

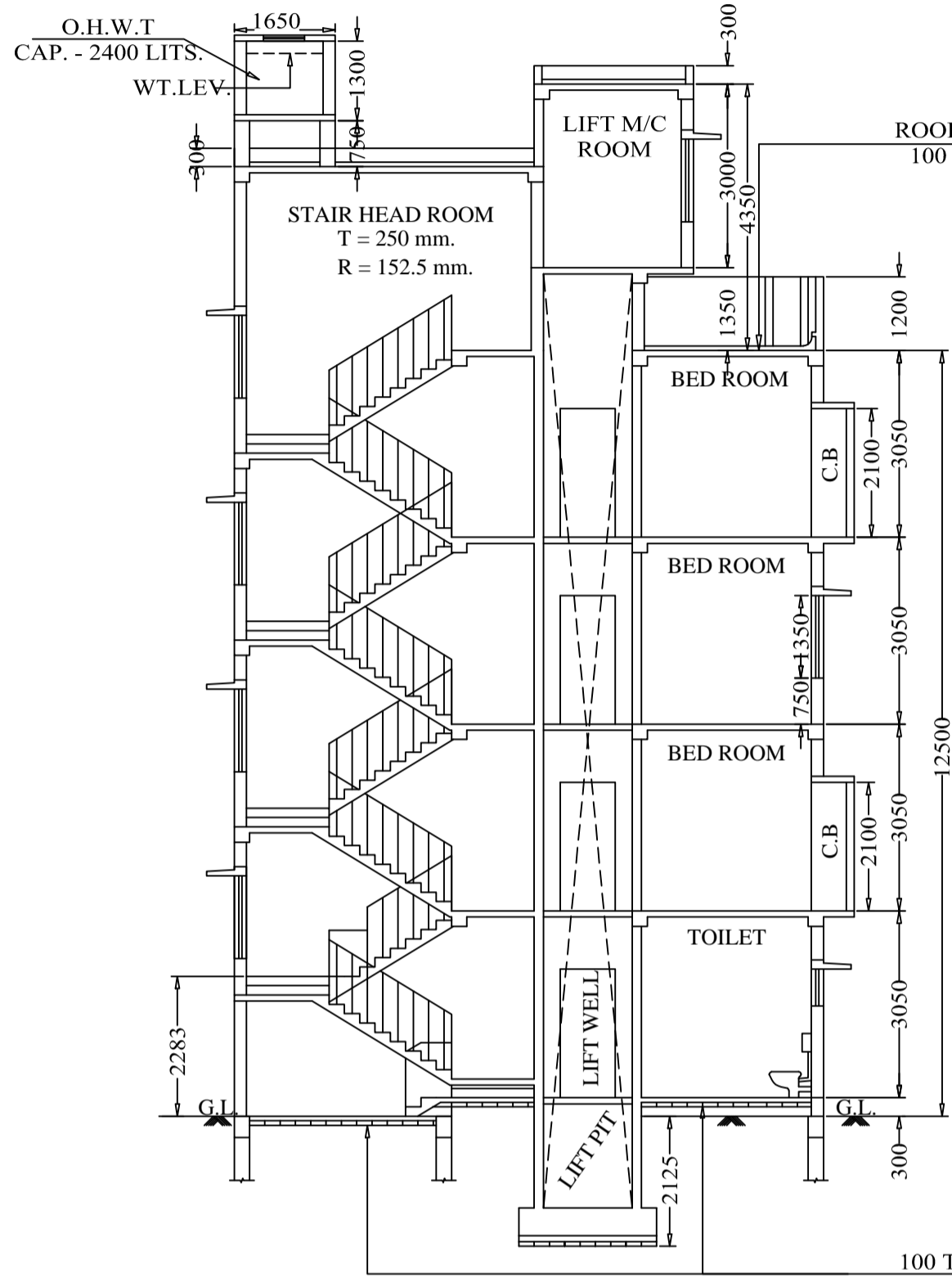
SOUMYAJIT BHATTACHARYA L.B.S NO. I/1513 (K.M.C) LICENSED BUILDING SURVEYOR

SOUMYAJIT BHATTACHARYA E.S.E NO. II/546 (K.M.C) EMPANELLED STRUCTURAL ENGINEER

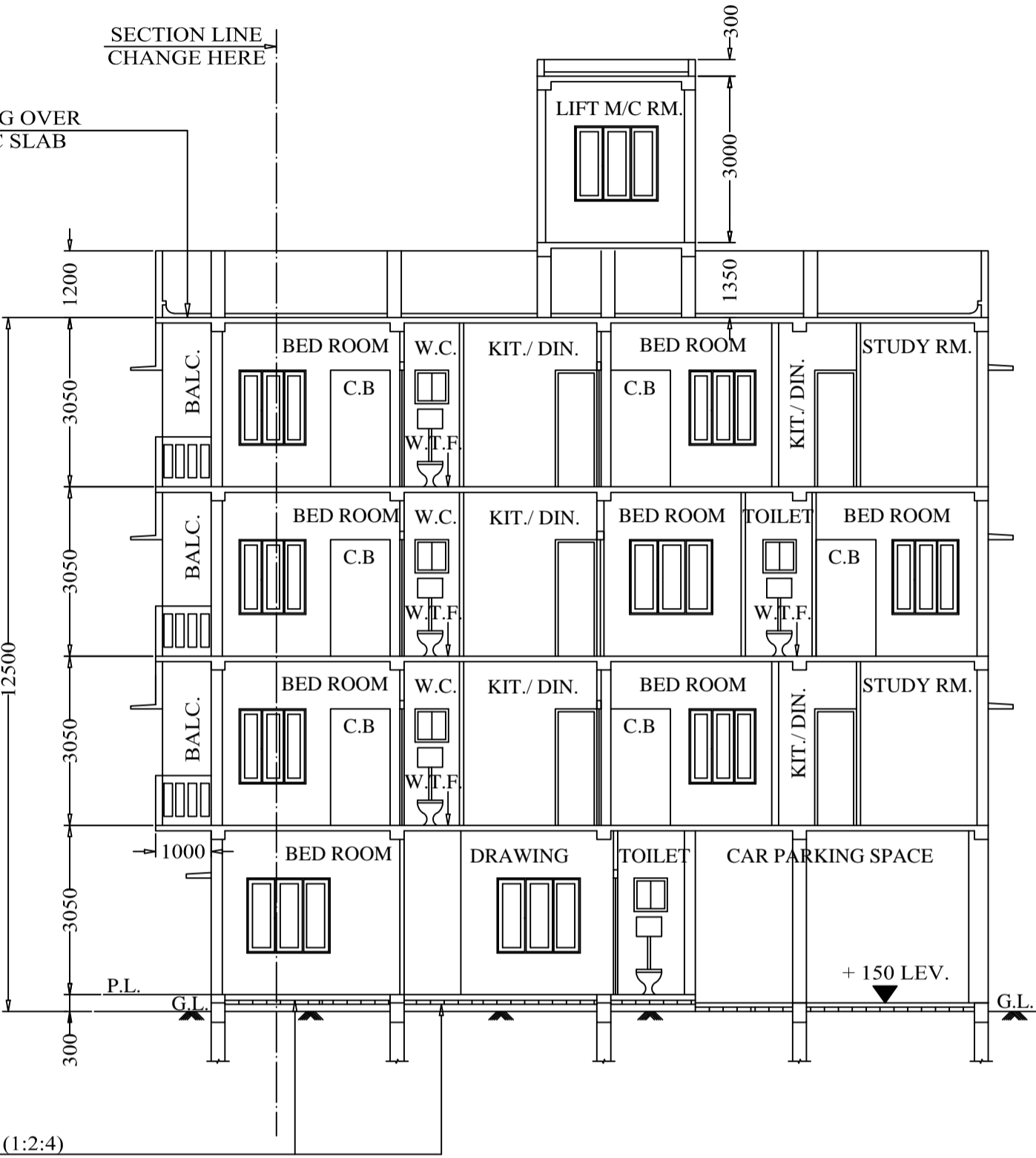
KALLOL KUMAR GHOSHAL G.T.E NO.II/14 (K.M.C) SIGNATURE OF G.T.E



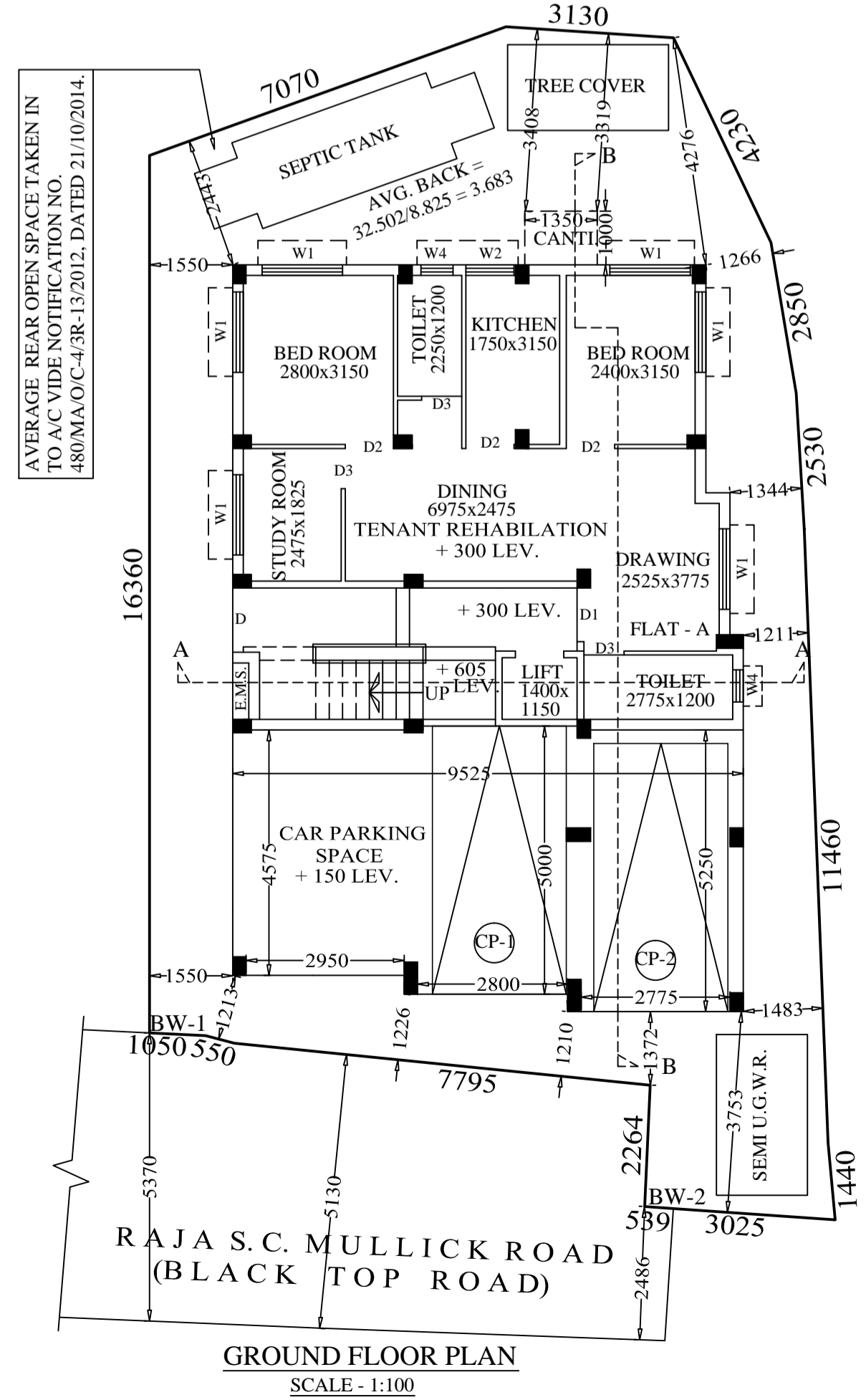
FRONT ELEVATION



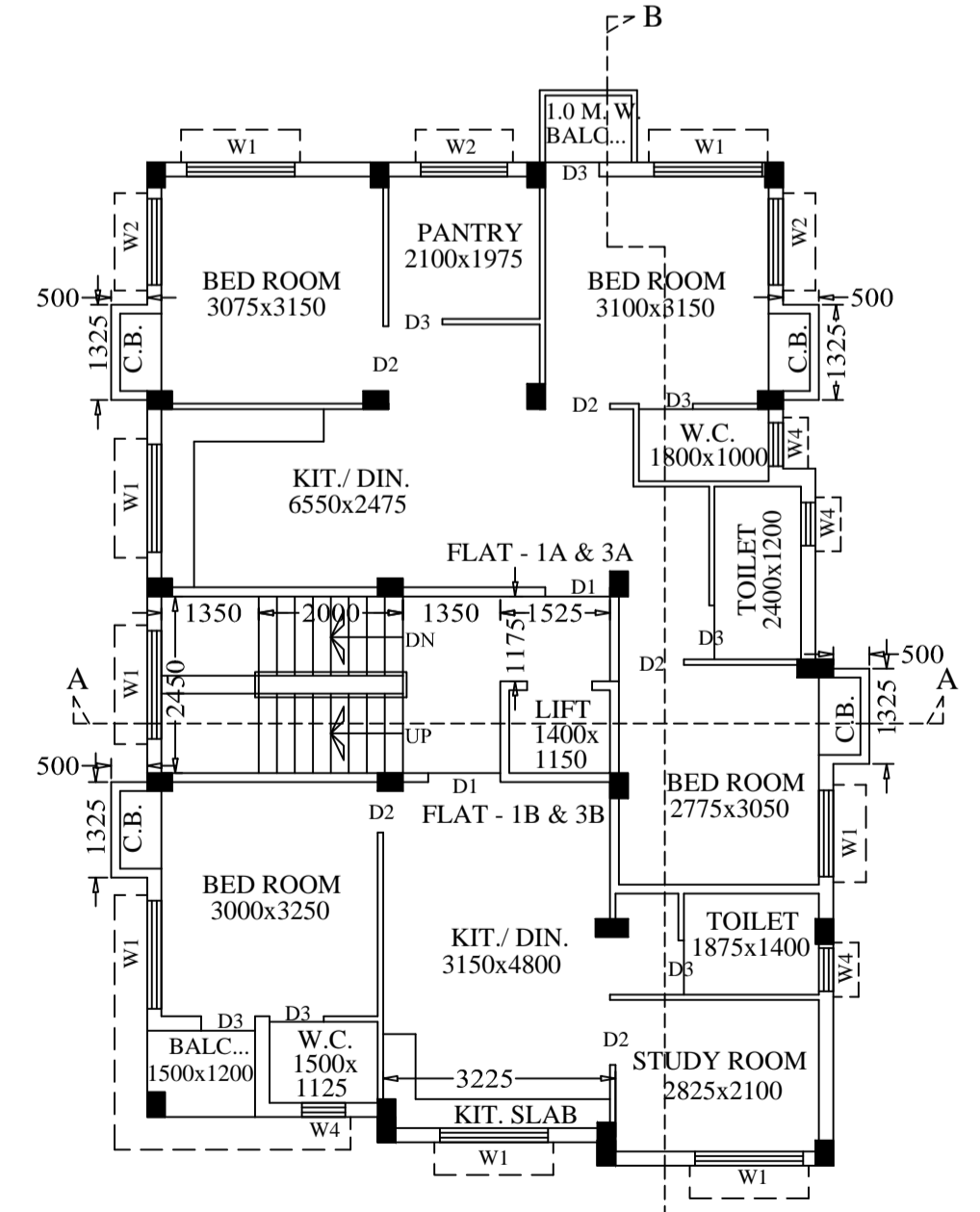
SECTION AT - A - A SCALE - 1:100



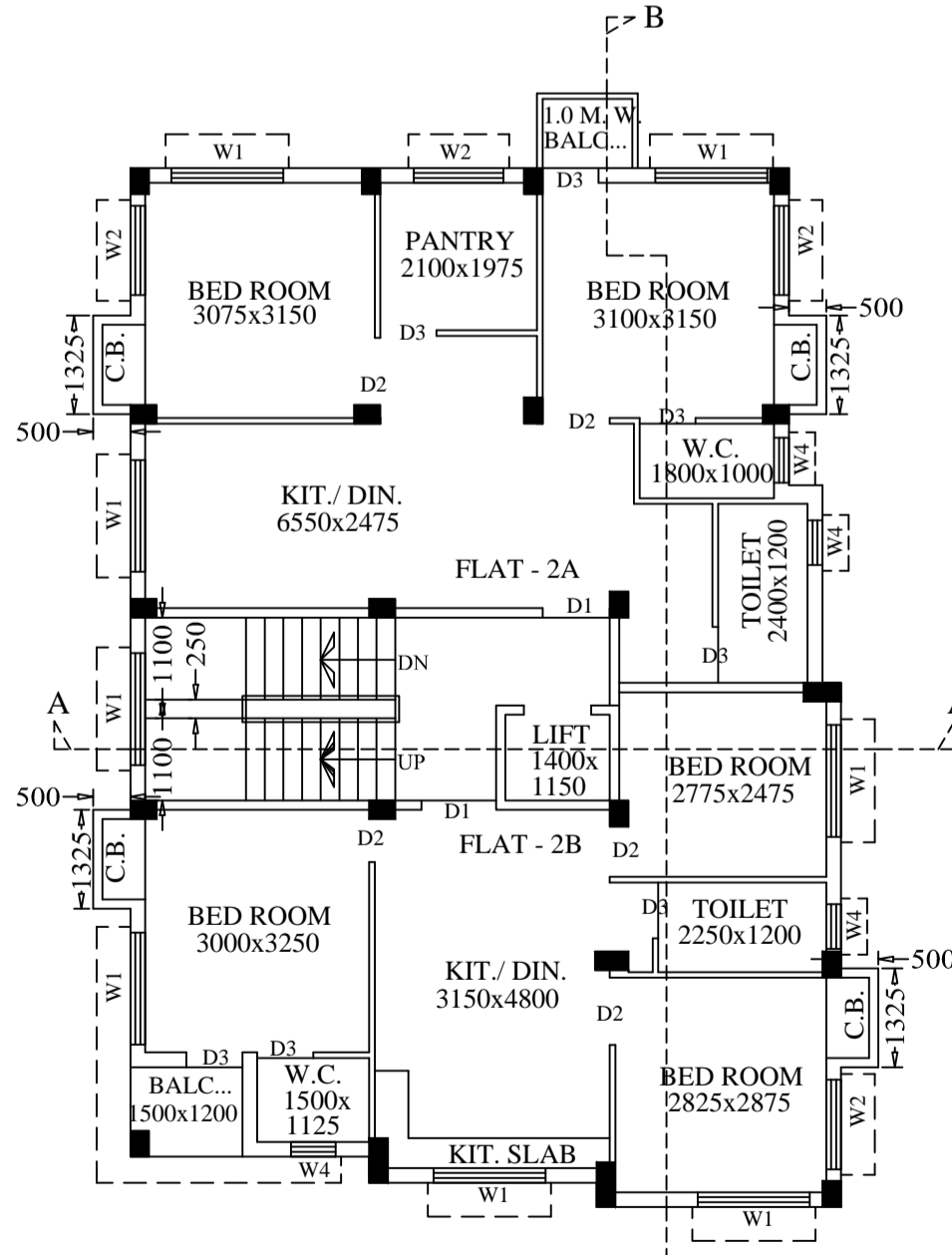
SECTION AT - B - B SCALE - 1:100



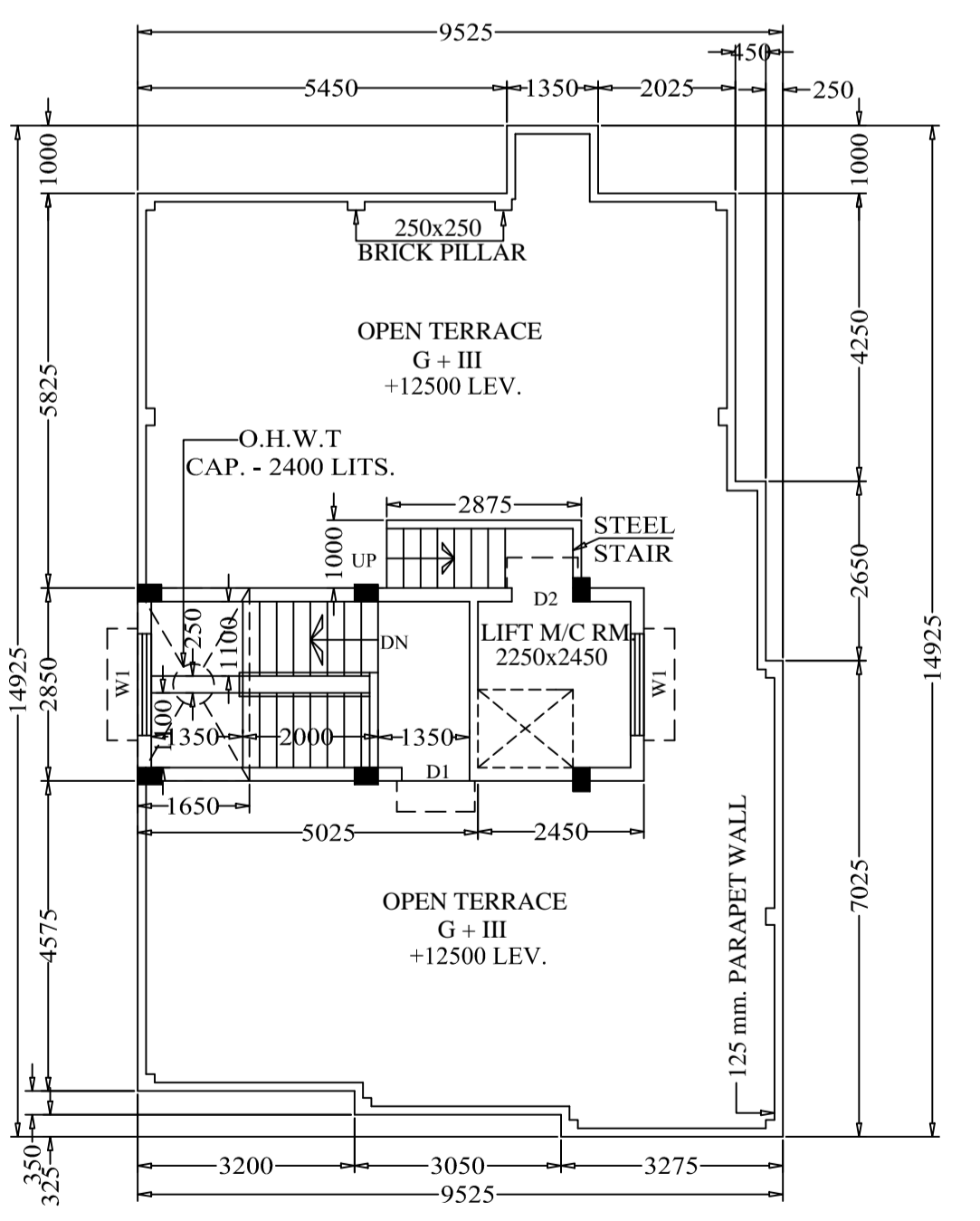
GROUND FLOOR PLAN SCALE - 1:100



FIRST & THIRD FLOOR PLAN SCALE - 1:100



SECOND FLOOR PLAN SCALE - 1:100



ROOF PLAN SCALE - 1:100

DIGITAL SIGNATURE

DEBARATI CHAKRABORTY Digitally signed by DEBARATI CHAKRABORTY Date: 2024.09.23 14:22:29 +05'30'

SIGNATURE OF A.E.(C)

B.P. NO. 2024100143 DATED :- 23-SEP-2024

VALID UP TO :- 22-SEP-2029

NOTES :-

PERMISSIBLE HEIGHT IN REFERENCE TO CCZM ISSUED BY AAI: 33M. CO-ORDINATE IN WGS 84 AND SITE ELEVATION (AMSL): REFERENCE POINTS MARKED IN THE SITE PLAN OF THE PROPOSAL

Table with columns: REFERENCE POINTS MARKED IN THE SITE PLAN OF THE PROPOSAL, CO-ORDINATE IN WGS84 (LATITUDE, LONGITUDE), SITE ELEVATION (AMSL). Rows include BW-1, BW-2 with coordinates and elevation of 7.500 M.

THE ABOVE INFORMATION IS TRUE AND CORRECT IN RESPECT AND IF AT ANY STAGE, IT IS FOUND OTHERWISE, THEN I (L.B.S. / OWNER) SHALL BE FULLY LIABLE FOR WHICH KMC AND OTHER APPROPRIATE AUTHORITY RESERVE THE RIGHT TO TAKEN APPROPRIATE ACTION AGAINST ME AS PER LAW.

SOUMYAJIT BHATTACHARYA L.B.S NO. I/1513 (K.M.C) NAME OF L.B.S. APPLICANT/S M/S. RAMTHAKUR ENTERPRISE PROPRIETOR OF SRI SANJOY KUMAR GUHA ROY & CONSTITUTED ATTORNEY OF 1. SMT. SAMATA GHOSH, 2. SMT. INDRA GHOSH 3. SRI. SHAYANTAN GHOSH, 4. SRI. SUMANTAN GHOSH 5. SMT. PAPIA GHOSH, 6. SRI. AMITAVA GHOSH 7. SMT. SUCHARITA GUHA ROY 8. SMT. DEBOPRIYA VINAY KUMAR PATEL

MAIN CHARACTERISTICS OF THE PROPOSAL :-

Table with columns: PART - A, MKD, SIZE, MKD, SIZE. Rows include Assessee No., Name of Owner, Name of Applicant, Mutation Case No., and details of deed, conveyance, and boundary declaration.

PART - B

Table with columns: FLOOR, FLOOR AREA (SQM), STAIR WELL, STAIR WAY, LIFT LOBBY, LIFT WELL, NET FLOOR AREA, GROSS FLOOR AREA. Rows include Ground, First, Second, Third, and Total floor areas.

7. TENEMENT CALCULATION.

Table with columns: TENEMENT MKD, TENEMENT AREA ACT. (SQM), AREA TO BE ADDED (SQM), TOTAL TENEMENT AREA (SQM), NOS. OF TENEMENT, CAR PARKING CALCULATION (REQUIRED NUMBER, PROVIDED). Rows include Flat - A, Flat - 1A & 3A, Flat - 1B & 3B, Flat - 2A, Flat - 2B.

8. NOS. OF CAR PARKING PROVIDED :- 2 NOS.

9. PERMISSIBLE F.A.R. = 1.75

10. REQUIRED CAR PARKING FOR RESIDENTIAL, SHOP & OFFICE : NIL.

11. PROPOSED F.A.R. = 449.384 - 47.071 / 230.754 = 1.743 < 1.75

12. TOTAL PROVIDED CAR PARKING : 2 NOS.

13. PROVIDED CAR PARKING AREA : 47.071 SQM.

14. SHOP COVERED AREA AT GR. FLOOR = NIL.

15. OFFICE COVERED AREA AT GR. FLOOR = NIL.

16. TOTAL NON RESIDENTIAL AREA AT GR. FLOOR = NIL.

17. ADDITIONAL AREAS CALCULATION :-

Table with columns: FLOOR, CUP BOARD AREA, LOFT AREA, TOTAL AREA, PERCENTAGE. Rows include Ground, First, Second, Third, and Total areas.

18. PROPOSED TOTAL SERVICE TOILET AREA AT ROOF = NIL.

19. OVER HEAD TANK AREA = 4.703 SQM.

20. STAIR HEADROOM AREA = 14.321 SQM.

20a. LIFT M/C ROOM AREA = 6.983 SQM.

20b. LIFT M/C ROOM STAIR AREA = 2.875 SQM.

21. PROP. ROOF AREA = 127.198 SQM.

22. PROP. TOTAL RESIDENTIAL AREA = 501.112 SQM.

23. PROPOSED TOTAL FLOOR AREA (RESIDENTIAL) = 501.112 SQM.

24. ADDITIONAL AREAS FOR FEES = S.H.R. + C.B. + LOFT + LIFT M/C ROOM + LIFT M/C STAIR AREA = 14.321 + 7.944 + 0.00 + 6.983 + 2.875 = 32.123 SQM.

25. TOTAL AREA FOR FEES = TOTAL FLOOR AREA + ADDITIONAL AREAS FOR FEES = (501.112 SQM + 32.123 SQM) = 533.235 SQM.

26. TREE COVER (PERMISSIBLE) = ((15 / 6000) x 230.754(L.A.) x 533.235(AREA FOR FEES))/100 = 3.076 SQM.

27. TREE COVER (PROVIDED) = 3.2 SQM.

28. HEIGHT OF BUILDING = 12.5 M.

SPECIFICATIONS :-

- A) ALL EXTERNAL WALL 200 MM. TH. AND ALL INTERNAL AND PARTITION WALL 125 & 75 MM. TH.
B) ALL 125 & 75 MM. TH. WALL WITH 1ST. CLASS BRICK WITH (4:1) SAND, CEMENT MORTAR.
C) ALL R.C.C. WORK WITH STONE CHIPS, SAND & CEMENT (4:2:1) (UNLESS OTHERWISE MENTIONED).
D) GRADE OF CONCRETE - M20.
E) GRADE OF STEEL - FE500.
F) ALL MATERIALS SHALL BE CONSIDERED TO THE PROPTION OF NATIONAL BUILDING CODE OF INDIA.

Table with columns: DRAWN, CHECKED, DESIGNED, APPROVED, SCALE, SHEET, FORMAT, CONSULTANT, DATE, JOB NO. Includes names like Soumya, Soumitra and details like m/s. surplantech INDIA.